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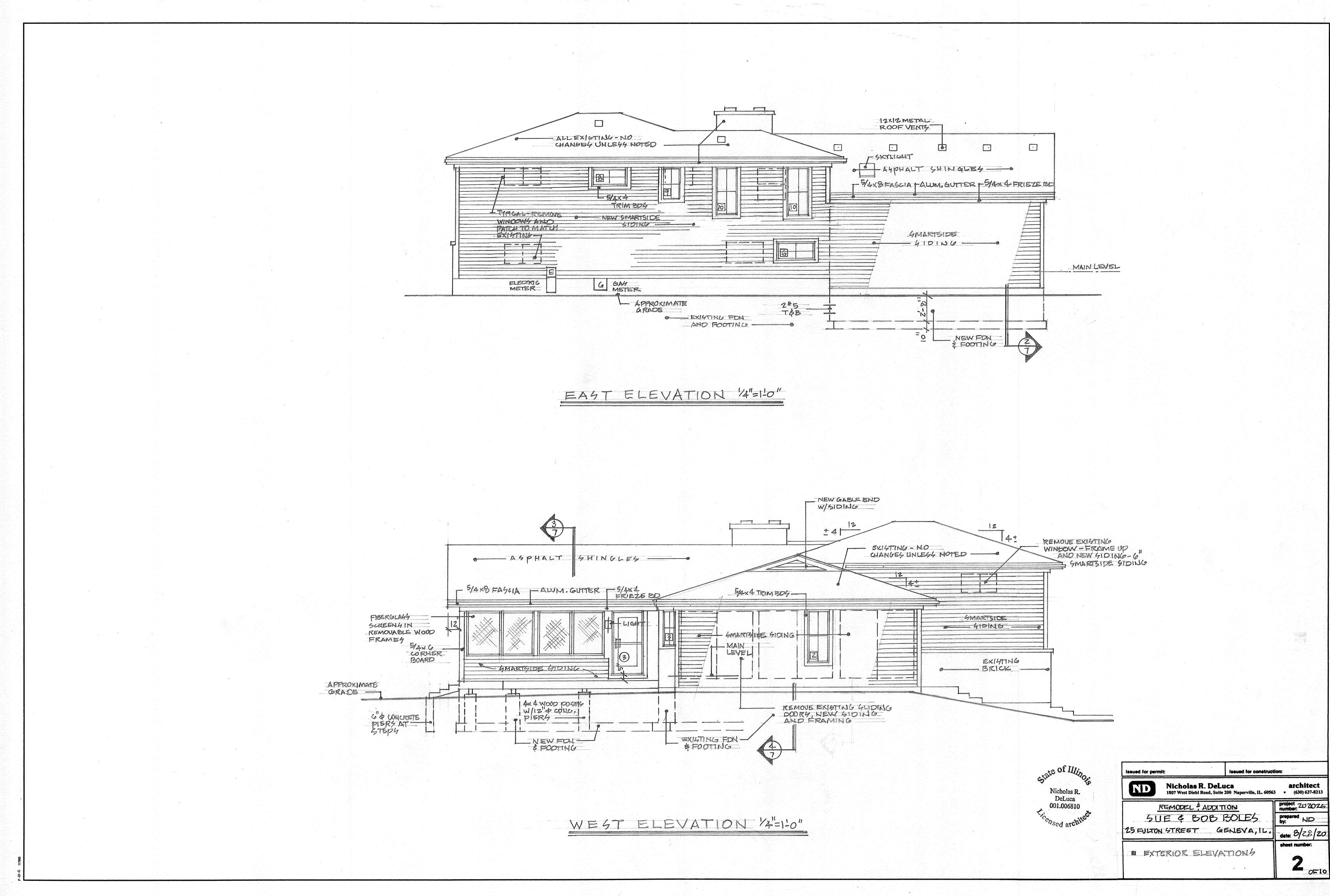
Geneva Building Codes & Ordinances

2015 International Residential Building Code 2018 International Energy Conservation Code 2014 National Electric Code Current State of Illinois Plumbing Code 2015 International Mechanical Code 2015 International Fuel Gas Code 2015 International Fire Code

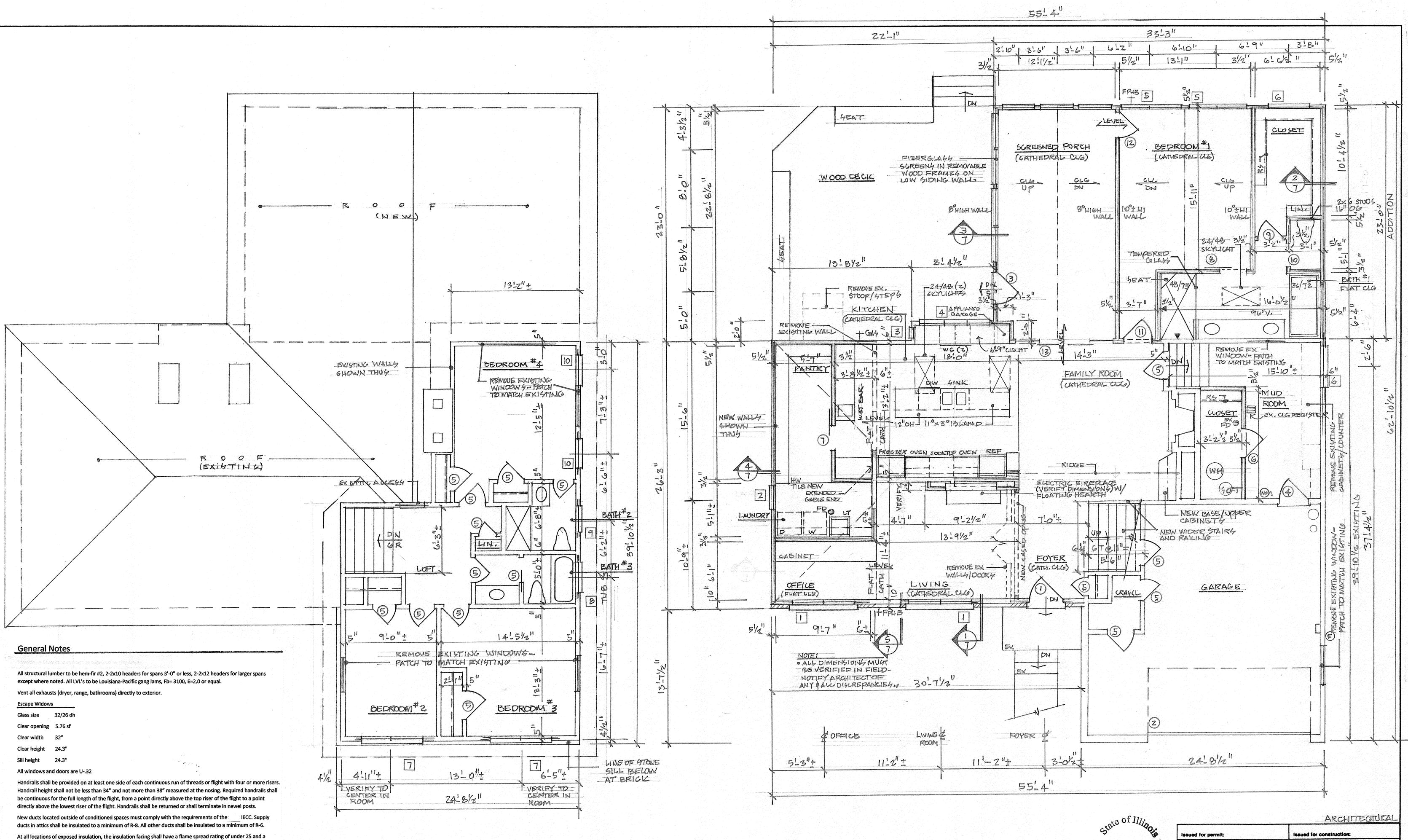
Schedule of Drawings

- 1. Exterior elevations, Building codes
- 2. Exterior elevations
- 3. Main/Lower Level Floor Plan, Upper Level Floor Plan--Architectural
- 4. Main/Lower Level Floor Plan, Upper Level Floor Plan—Electrical/Structural
- 5. Foundation Floor Plan, Roof Plan
- 6. Schedules, Radon drawing, Wall Bracing Details, General notes, Miscellaneous details
- 7. Wall sections, Plumbing isometrics, Wood Deck Details
- 8. Existing-- Exterior Elevations
- 9. Existing-- Main/Lower Level Floor Plan, Upper Level Floor Plan
- 10. Existing-- Foundation Floor Plan, Roof Plan

estate of Illinois	Issued for permit:	Issued for construction:
Nicholas R. DeLuca	Nicholas R. I 1807 West Diehl Road	DeLuca architect I, Suite 200 Naperville, IL. 60563 • (630) 637-8213
001.006810	REMODEL & AL	BROLES prepared ND
\cdot \sim 0	25 FULTON STREET	GENEVA, 12, date: 8/28/20
126/20 Ep 11/30/20	BUILDE RITEWAY CUSTO 5400UANE AVENUE	OM HOMES

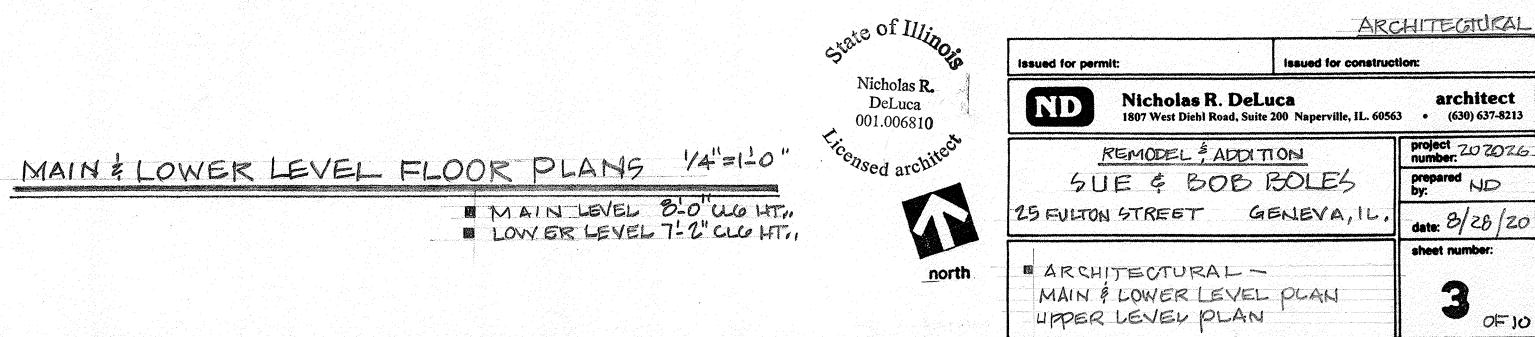


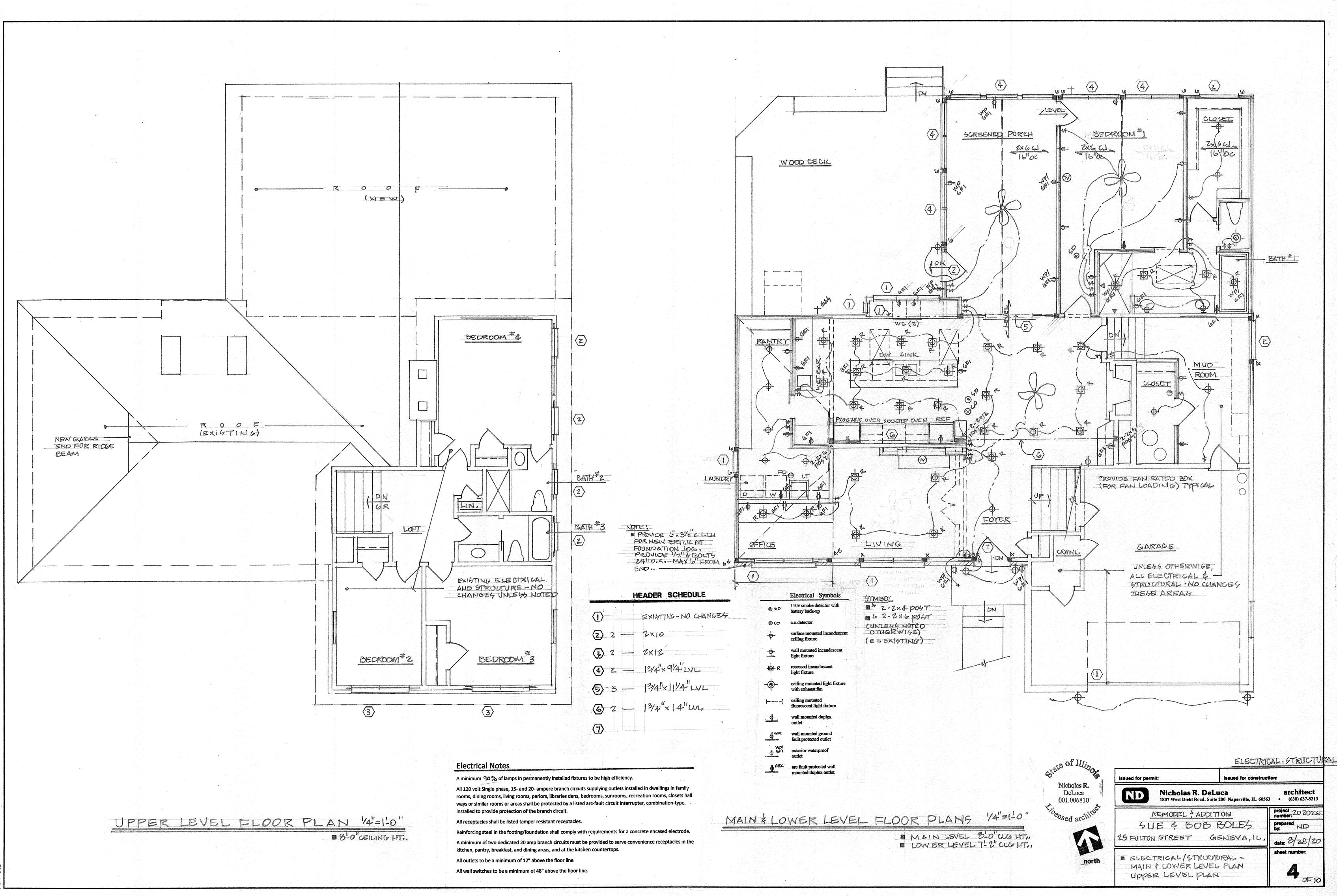
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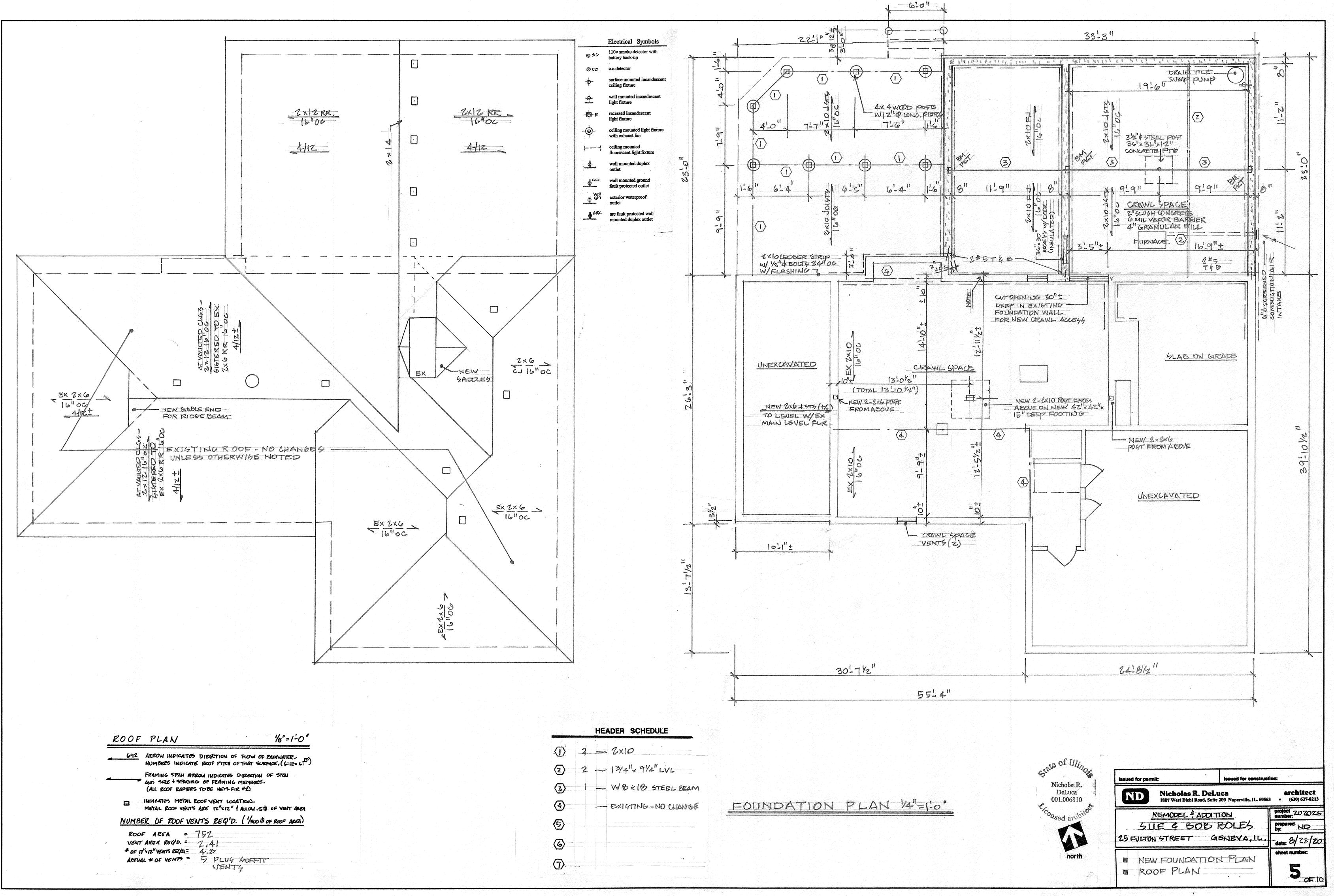


UPPER LEVEL FLOOR PLAN 14"=1-0" 8-0"CEILING HT.

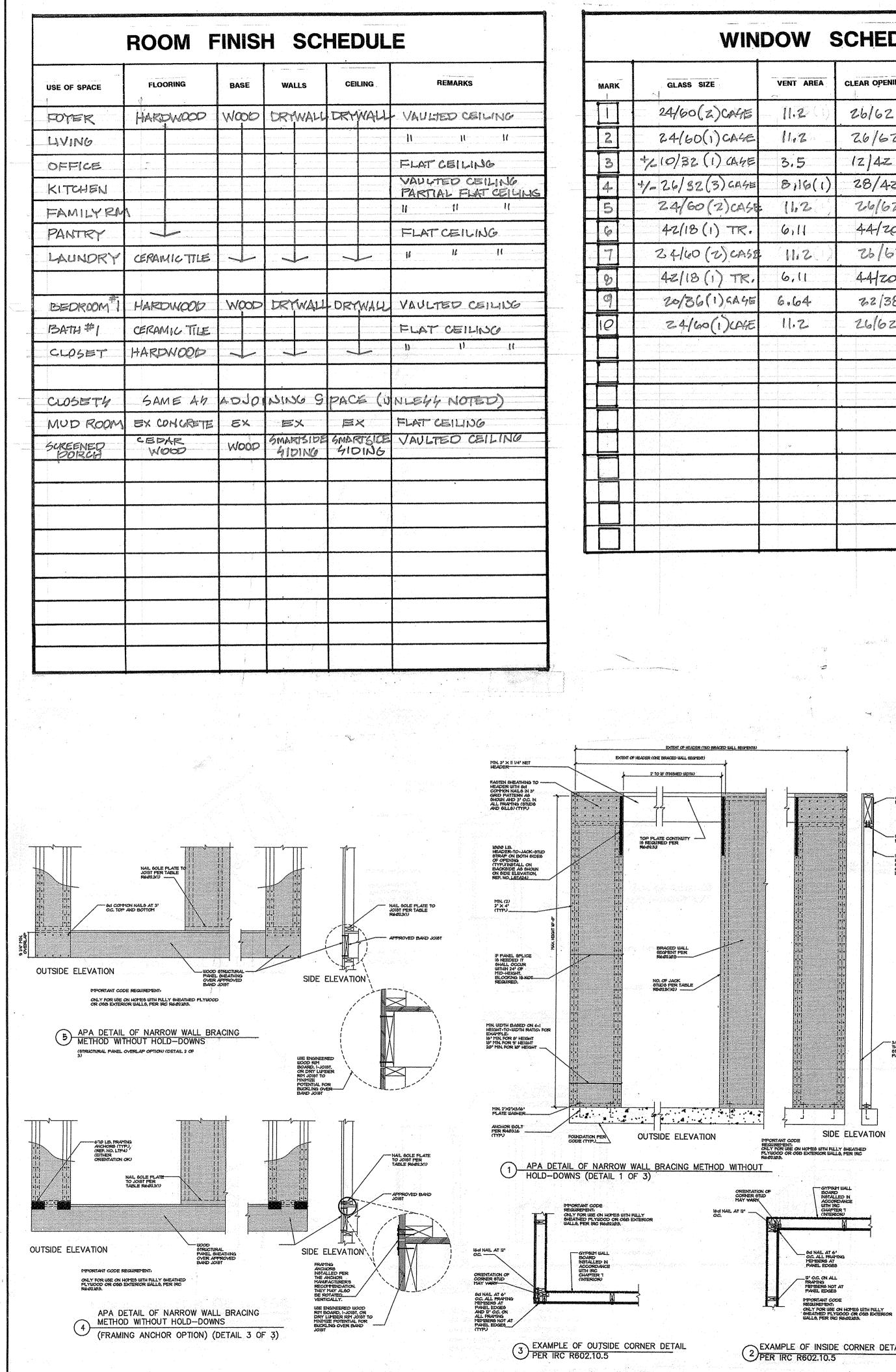
smoke development factor of under 400.







HEADER SCHEDU	<u>JLE</u>		
1) 2 - 2×10			
2 2 ~ 13/4" * 9/4"	LVL		
3 1 - W8×185	TEEL BEAM		
(4) - EX14TING-1	no change	=OUNDATION	J PLAN 1/4"=1
5			
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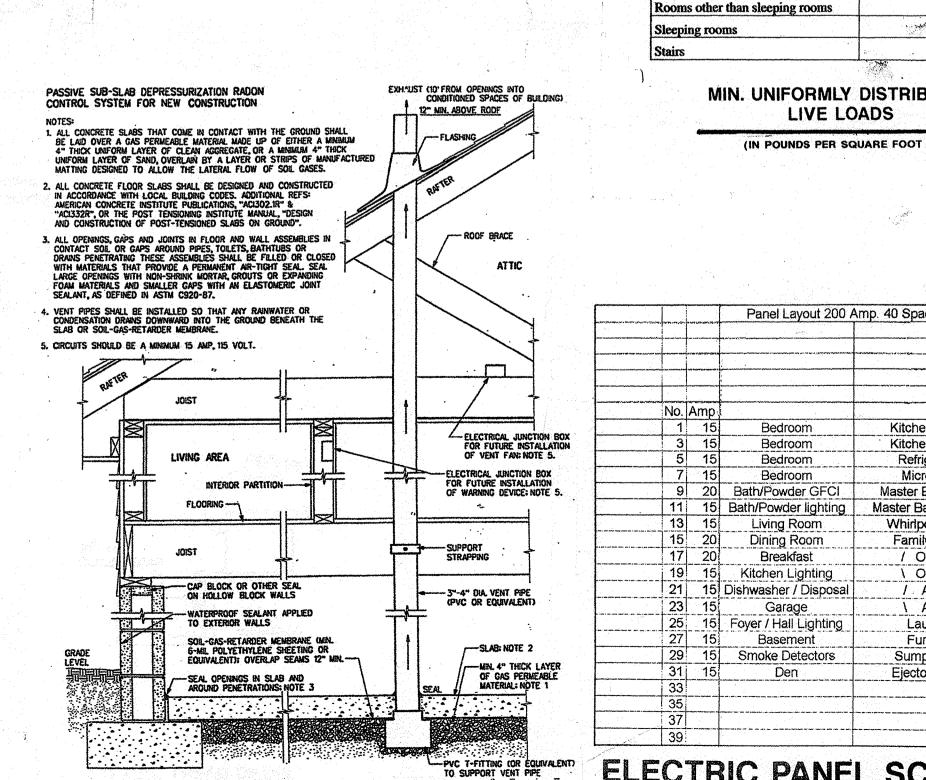
	VENT AREA	CLEAR OPENING	REMARKS
atie	11.20	26/62	
A4E	11,20	26/62	
ia4e	3.5	12/42	DEEP TO PROVIDE 4" BACKSP
CA48	8,16(1)	28/42	SAME A4 ABOVE
CASE	(1,2(4)	26/62	
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CASE	(11:2(1))	26/62	a fan en en fan en
TR,	6,11	44/20	TEMPERED GLASS
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		DOOR SCI	HEDUL		
MARK	SIZE	DESCRIPTION	DOOR MAT'L	FRAME	REMARKS
\bigcirc	3-6" × 6-8×13/	"ENTRY	WOOD	MOOD	
0	16-0 × 6-0 ×	GARAGE	anna a' Chaolann an Albanan an Albanan Anna an Albanan an Albanan an Albanan Anna Albanan Albanan		NEW QUERHEAD DO VERIFY SIZE
3	3-0" ×6-8" ×130	" porch	SCREEN		a na cala la la segun na segun "a na calanan", segun na calana na seria na seria na seria na seria na seria na Na harawa yana na calana na calana na calana na calana na calana na seria na seria na seria na seria na seria Na harawa yana na calana na calana na calana na calana na calana na seria na seria na seria na seria na seria n
4	3-0" × 6-3" × 13/4	"GARAGE/MUD	SOLID WOOD		13/4" SOLID CORE "B"LABEL (EX191"
5	EX19TIN	6 - NO CHA	NGE	en en el Constante en el const en en el constante en el constan el constante en el constante en	
\bigcirc	310"x 6-8"x 134"		WOOD	SOOM .	
	3:0" × 6:8" × 13/4		a an	and a second	"BARN" DOOR
$\textcircled{\begin{subarray}{c} \hline \end{subarray}}$	2-4" × 6-8" × 13/4	BATHROOM #1	a na manana na pangana ang kanang nang nang nang nang na	an an ann ann an ann an ann an Annaichean Annaichean Annaichean Annaichean ann ann ann ann ann ann ann ann ann	SAME AY ABOVE
9	2-4"×6-8"×13/4	" CLOSET	nnan a' cannan garana 'n stat andar ar gar a' dat dat ar gar a' a' a' dat dat ar gar a' a' a' a' a' a' a' a' a San an gar a'	ng an ang ang ang ang ang ang ang ang an	a se na populati da popular a construita da desar con com construindo popular por a construit a construit da se Construit a construit a construit da construit da construit da construit da construit da construit da construit Construit da construit da constru
\bigcirc	2.4 × 6.8 × 13/4		an a	a para anta ana ang kana ang k Kana ang kana ang kan Kana ang kana ang kan	POCKET DOOR
	2-6" × 6-8 × 13/4	"BEDROOM #1		annan , manga a na an	
	3.0" × 6.9"×134	BEDROOM #1	GLAHA	an ang ang ang ang ang ang ang ang ang a	FRENCH DOOR- TEMPERED GLAG
3	10-0"×6-8"×134	FAMILY ROOM	an a fairt a canada an fair an ann an an an an an an ann ann an ann an a		SLIDING DOOR TEMPERED GLAN
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- SHEATHING FILLER F - IGd SINKER NAILS IN 2 ROUS • 3' O.C. -1000 LB. HEADER-TO-JACK-STUD STRAP ON BOTH SIDES OF OPENING (REF, NO. 147424)



EXAMPLE OF INSIDE CORNER DETAIL



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Ň	'ENT	ILAT	ION S	SCHE	EDUL	
	FLOOP	LIC	5HT	VEN	JT .	
ROOM	AREA	REQ'D.	ACTUAL	REQ'D.	ACTUAL	REMARKS
FOMILY/LIVING/OFFICE	1621	49.6	72.5	25.0	38.3	
ISEDROOM *1	208	16.6	52,7	8.3	26,3	
BATHROOM	96	7.6	6.11	3.8	6.13	125 CFM MECH. EXHAUY
BEDROOM #2		9.3	24.3	47	1213	
BEDROOM #3	175	14.0	24.3	7.0	12,3	
BEDROOM #4	150	12.0	26.4	6,0	13.2	
BATHROOM #2	30	and and a second se The second s	6,7		3,36	1000 FM MECH, EXHAUS
BATHROOM #3	25	and the second se	6.11		6.11	<u>b 11 0 11</u>
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GENERAL NOTES: NEW CONSTRUCTION

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LOCAL BUILDING ORDINANCES, AMENDMENTS AND ZONING ORDINANCE.
- ALL CONSTRUCTION TO BE DONE IN A WORKMANLIKE MANNER AND WHEN NOT SPECIFICALLY DESCRIBED OR REGULATED BY VILLAGE ORDANANCES OR SHOWN ON DRAWINGS, SHALL BE PERFORMED TO ACCEPTABLE STANDARD PRACTICE.
- ALL PLUMBING, ELECTRICAL AND MECHANICAL WORK TO BE COMPLETE AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDANANCES. **DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN.**
- ALL CONTRACTORS TO VISIT SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING JOB SITE CONDITIONS.
- NOTIFY ARCHITECT, IN WRITING, OF ANY AND ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK OF ANY NATURE.
- ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI. AT 28 DAYS. IT SHALL BE ASSUMED FOR THIS DESIGN THAT A 2500 PSF MINIMUM SOIL BEARING CAPACITY IS PRESENT. IF NOT, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL.
- ALL FLOOR JOISTS DESIGNED AT 40# LIVE LOAD, 10# DEAD LOAD. CEILING JOISTS DESIGNED AT 20# LIVE LOAD, 10# DEAD LOAD. ROOF RAFTERS DESIGNED AT 30# LIVE LOAD, 10# DEAD LOAD.
- ALL STRUCTURAL LUMBER FOR FLOOR JOISTS, CEILING JOISTS, ROOF RAFTERS, HEADERS AND BEAMS TO BE WESTERN WOOD PRODUCTS, HEM-FIR #2 UNLESS NOTED OTHERWISE.
- FIRE-STOPPING AND DRAFT-STOPPING SHALL BE INSTALLED AS SPECIFIED BY BUILDING CODE.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS (TYPICAL FOR ALL FLOORS). PROVIDE BRIDGING AS REQUIRED.
- ALL INTERIOR AND EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 2 2 x 12 UNLESS NOTED OTHERWISE.
- ALL PLUMBING WALLS TO BE 2 x 6 WOOD STUDS. ALL WALLS OVER 10'-0" TALL TO BE 2 x 6 WOOD STUDS.
- ALL STAIRS MAXIMUM 74RISE, MINIMUM TREAD 10 CLEAR OF TREAD ABOVE, MINIMUM 36" WIDE, CONTINUOUS CLEAR VERTICAL HEADROOM FROM FRONT NOSING OF TREAD TO A LINE PARALLEL WITH STAIR RUN OF 6'-8".
- DOUBLE ALL JOISTS UNDER BATHTUBS.
- ALL WINDOW GLAZING TO BE AS SPECIFIED BY BUILDING CODE.
- ALL PLUMBING (SINKS, TOILETS, SHOWERS, TUBS, ETC.) TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE BUILDING CODE.
- ALL ELECTRIC TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE 2014 N.E.C. CODE.
- ALL 125V, 1¢, 15 AND 20 AMP RECEPTACLES, ELECTRICAL EQUIPMENT, LIGHT FIXTURES, AND FANS, INSTALLED IN BATHROOMS SHALL HAVE G.F.C.I. PROTECTION.
- ALL 125V, 16, 15 AND 20 AMP RECEPTACLES INSTALLED BELOW GRADE SHALL HAVE G.F.C.I. PROTECTION.

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Nicholas R.	Nicholas R. Del 1807 West Diehl Road, Suit	.UCA e 200 Naperville, IL. 60563	e (630) 637-8213
DeLuca 001.006810	REMODEL \$ ADDI	TION	project 202026
consed architect	SUE & BOB	BOLES	by:
ased arcu	25 FULTON STREET G	ENEVA, IL.	-date: 8/28/20
	MALL BRACING DETA	OM FINIGH, N, VENT	sheet number:
	RADON DIAGRAM		4 6 ofto

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Attics with limited storage

uardrails and handrails

uardrails in-fill component

assenger vehicle garages

Bedroom

Garage

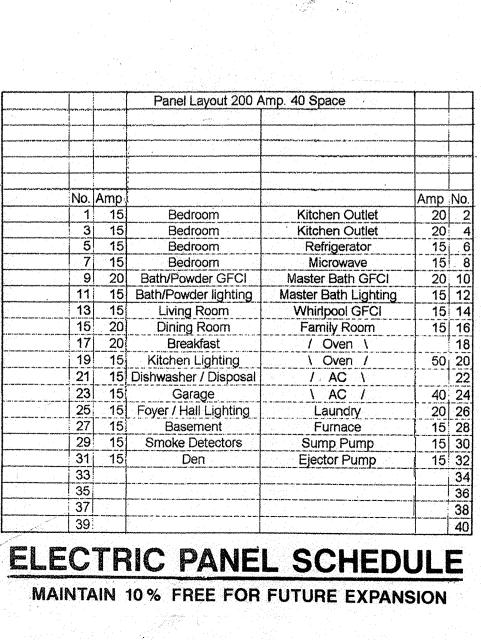
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Attics without storage

xterior balconies

rire escapes

MIN. UNIFORMLY DISTRIBUTED LIVE LOADS



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